

# Main Streets: City Planning's Approach and Tools for Identifying Heritage

ACO Toronto 2019 Symposium

April 6, 2019





# Where are Toronto's Main Streets?



# Conserving Main Streets...

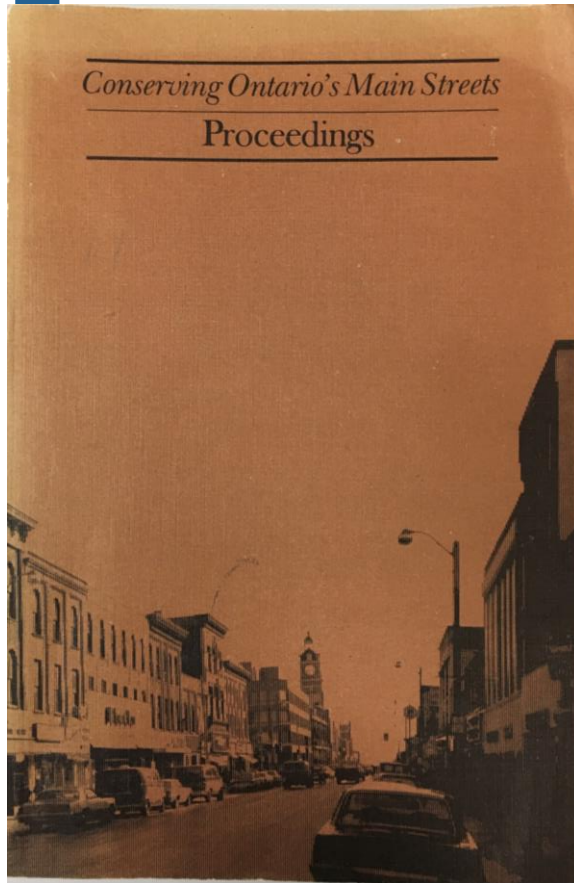
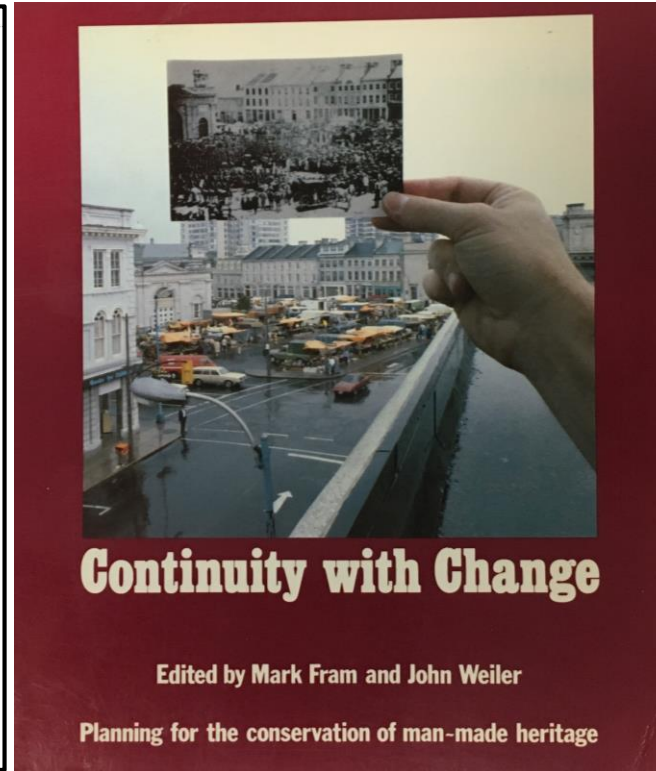


Illustration 5.3a  
Figure ground of typical main street fabric.

streets, the buildings typically span the width of the lot and are pulled right up to the front property lines, creating a continuous street wall with a direct or "storefront" relationship to the public sidewalk at grade (Illustration 5.3b). Typically such buildings have units above which take light from the front and rear of the property.

#### the high-rise core

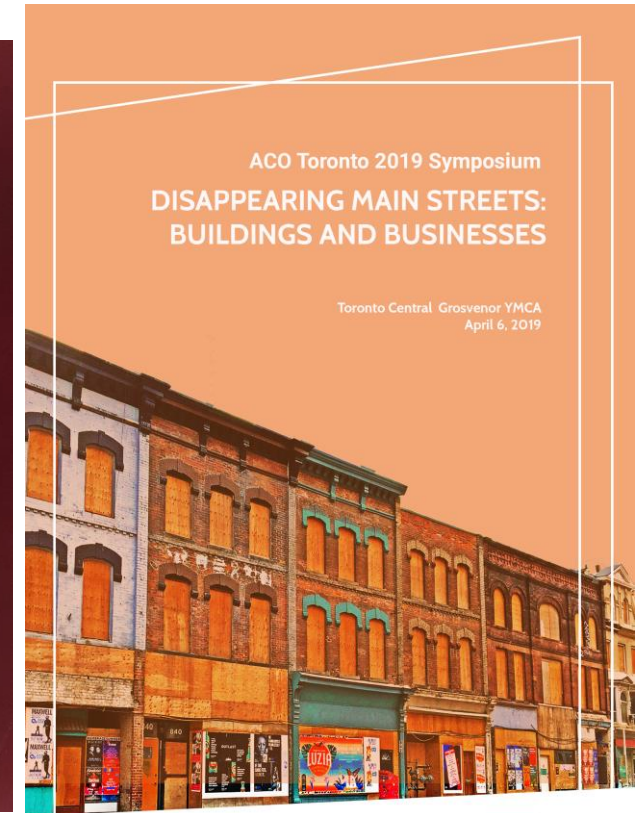
The downtown core is the most densely built up area of the City. Buildings in the core contrast with the neighbourhood periphery in all regards — scale, grain, building type, degree of homogeneity and, in some cases, relationship to the public realm (Illustration 5.4a). While



## Continuity with Change

Edited by Mark Fram and John Weiler

Planning for the conservation of man-made heritage



## ACO Toronto 2019 Symposium DISAPPEARING MAIN STREETS: BUILDINGS AND BUSINESSES

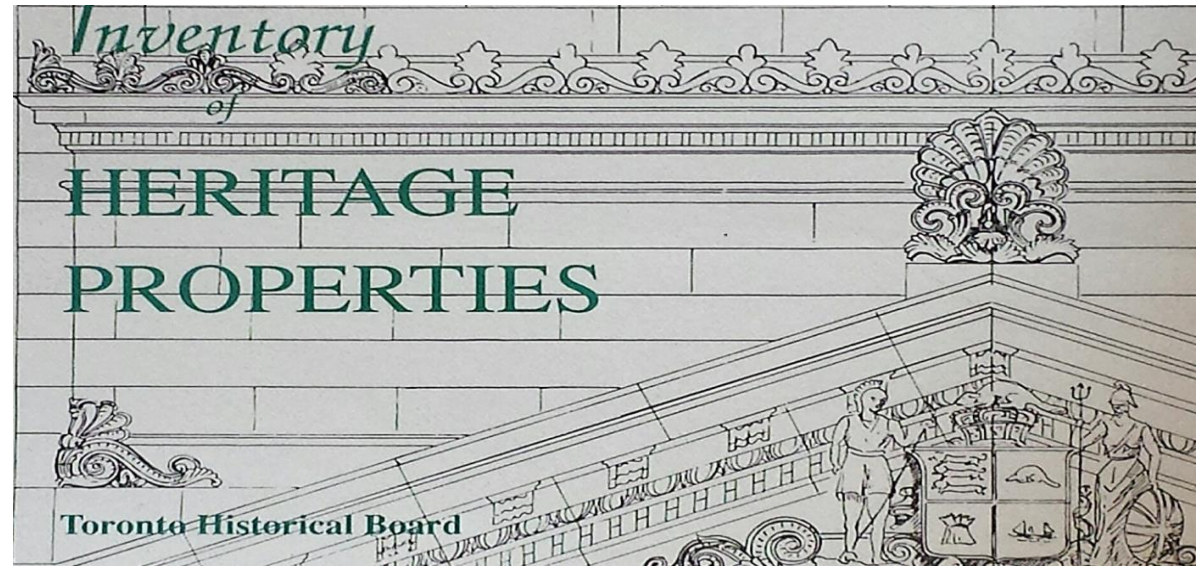
Toronto Central Grosvenor YMCA  
April 6, 2019

# In the Beginning...



City of Toronto Archives, Fonds 1257, f1257\_s1057\_it0744

Toronto Historical Board HQ  
Stanley Barracks,  
Exhibition Place (1960-1993)

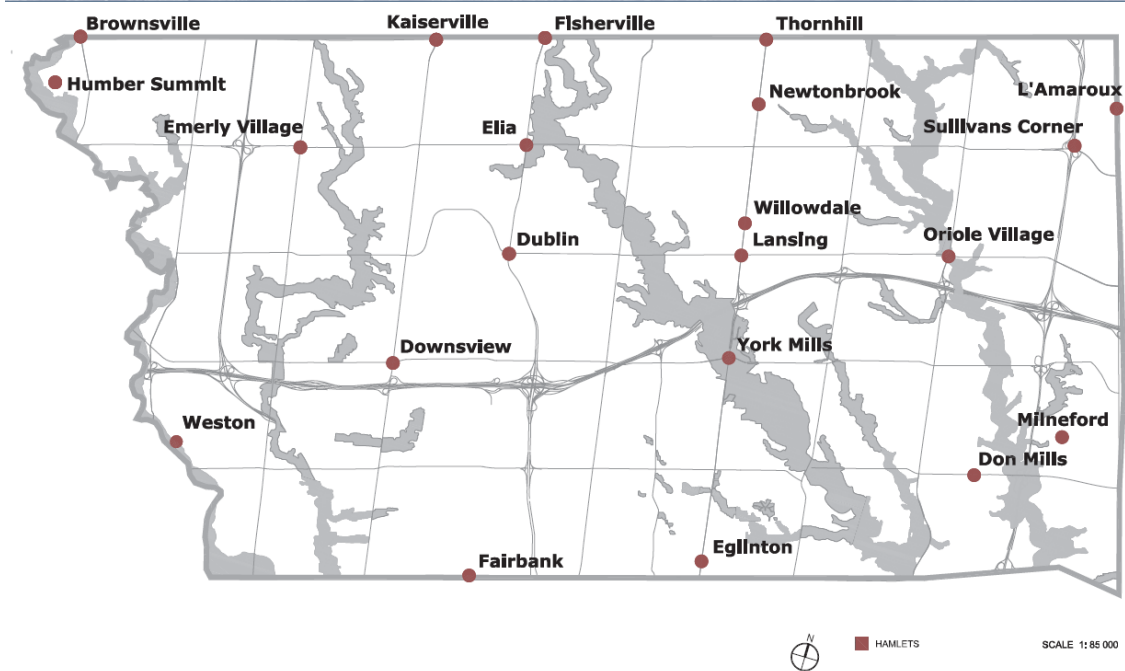


- **1949** Toronto Civic Historical Committee
- **1960's** – THB identifying heritage properties
- **1973** - City's first inventory (400 properties)
- **1975** – designation + review of planning applications for heritage inventory properties
- **1977** - Owner notification / listing process
- **1977 / 1986** - Heritage markers / Grants
- **1987**- Bill PR57 (interim demolition control)
- **2005** – Ontario Heritage Act amendments

# Inaugural Heritage Inventory : Property Typologies



# Historical Research



North York Hamlets and Villages

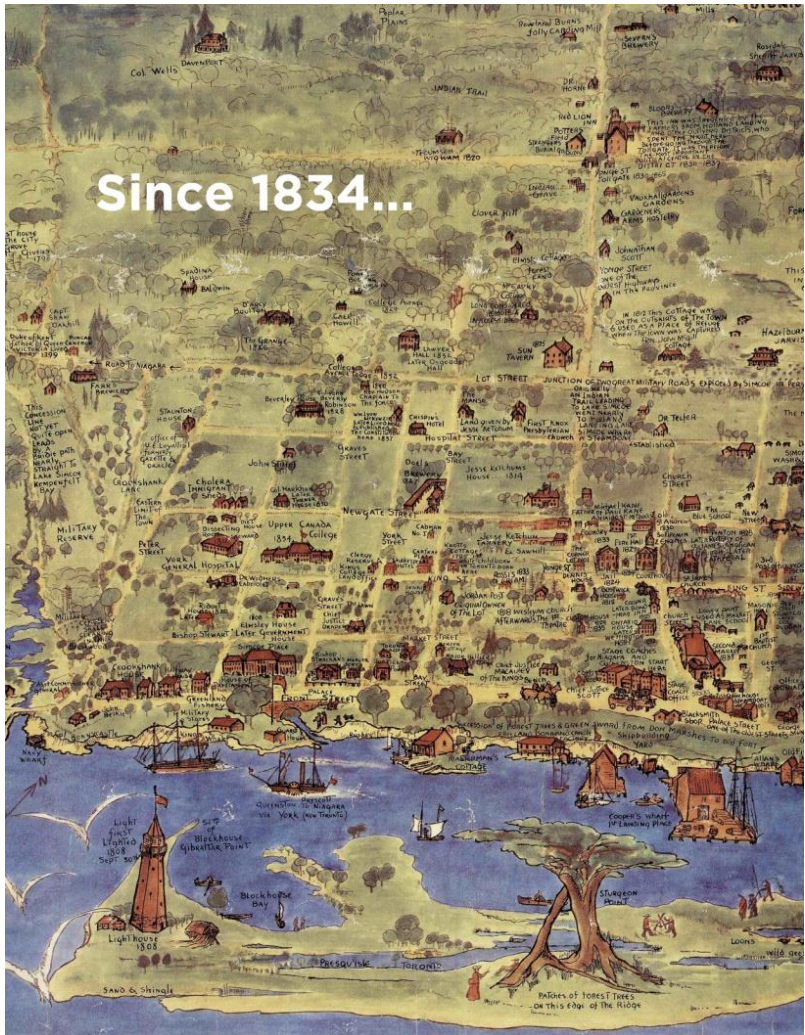
CITY PATTERNS TYPICAL CONDITIONS

**Illustration 5.3a**  
Figure ground of typical main street fabric.

streets, the buildings typically span the width of the lot and are pulled right up to the front property lines, creating a continuous street wall with a direct or "storefront" relationship to the public sidewalk at grade (illustration 5.3b). Typically such buildings have units above which take light from the front and rear of the property.

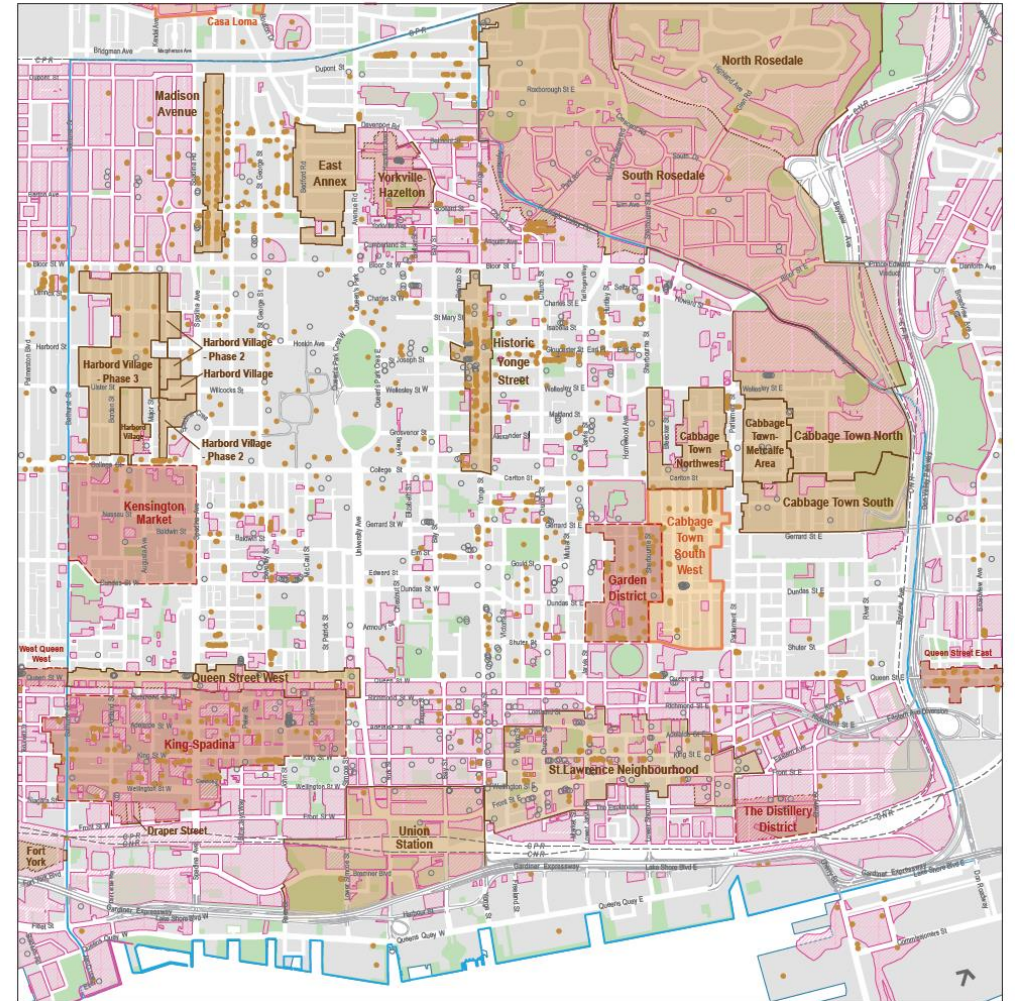
**the high-rise core**  
The downtown core is the most densely built up area of the City. Buildings in the core contrast with the neighbourhood periphery in all regards — scale, grain, building type, degree of homogeneity and, in some cases, relationship to the public realm (illustration 5.4a). While

# Toronto's Main Street Buildings



## Heritage Legend

- Heritage Register**
  - Listed Properties
  - Part IV Properties
- Heritage Conservation Districts**
  - Designated
  - Under Study
  - Prioritized
- Archaeology**
  - Archaeological Potential
- TOcore Study Area**
  - TOcore Study Area
- Green Space**
  - Green Space



# Nominations, Research and Evaluation



Agenda

Consolidated

## Toronto Preservation Board

**Meeting No.** 5  
**Meeting Date** Thursday, May 28, 2015  
**Start Time** 2:00 PM  
**Location** Committee Room 2, City Hall

**Contact** Brad Bartlett, Committee Secretary  
**Phone** 416-392-7033  
**E-mail** teycc@toronto.ca  
**Chair** Jennifer Rieger

### Toronto Preservation Board

Robert Allsopp Adriana Balen Mary-Catherine Garden Denise Harris	Geoff Kettel Barbara McPhail Dean Maher Rosa Milito	Bernard Rasch (Vice-Chair) Jennifer Rieger (Chair) Robert Saunders Councillor Kristyn Wong-Tam Councillor Josh Matlow
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### HERITAGE PRESERVATION SERVICES Heritage Property Nomination Form

Please complete this form. Attach additional pages as necessary.

A. **Address/Name of Property Nominated:**

Area (boundaries):

Ward No.:

To find the ward number:  
<http://app.toronto.ca/wards/findAddressForVotingPlace.do>

Map: Please attach an extract from a street map, marking the individual property, properties, street or area being nominated

B. Please check one box.  
Nominated for:  Listing on Inventory  Designation under OHA

C. **Name of Nominator:**

Address of Nominator:



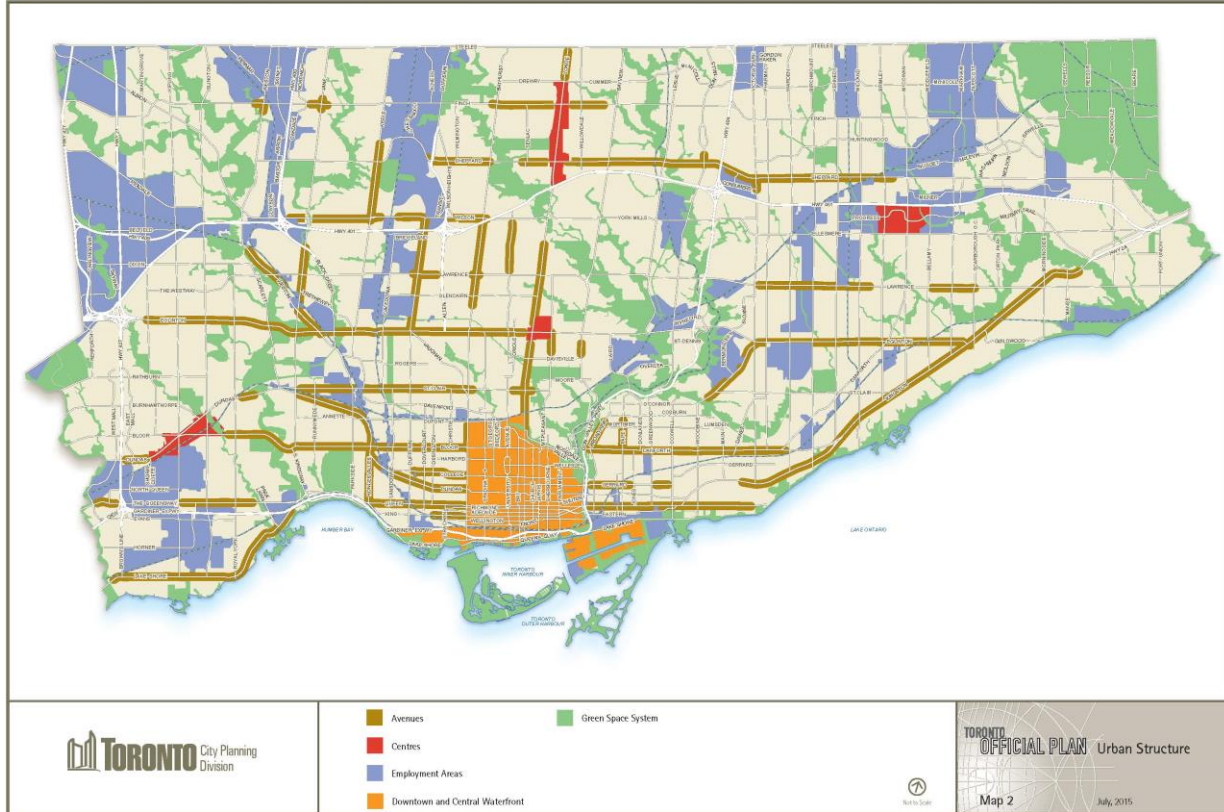
## Since 2006

Ontario Regulation 9/06 made under the Ontario Heritage Act: Criteria for Determining Cultural Heritage Value or Interest.

While the criteria are prescribed for municipal designation under Part IV, Section 29 of the Ontario Heritage Act, the City of Toronto uses it when assessing properties for inclusion on the City of Toronto Register of Heritage Properties.

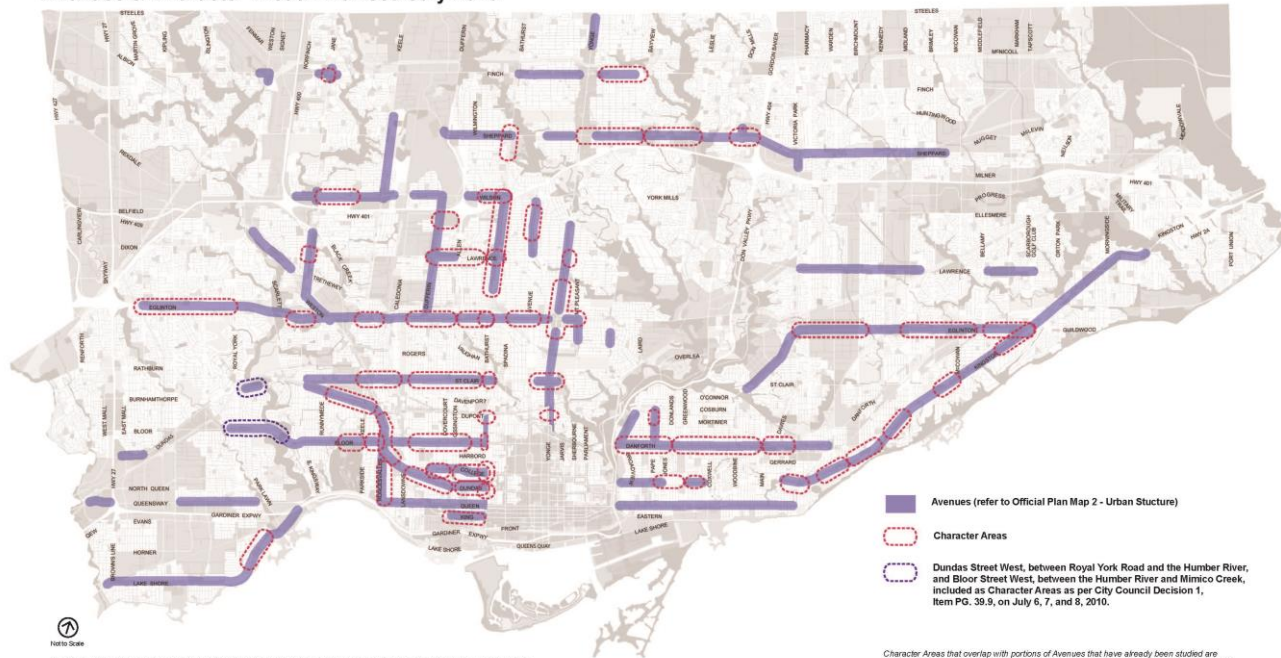


# Official Plan: Urban Structure

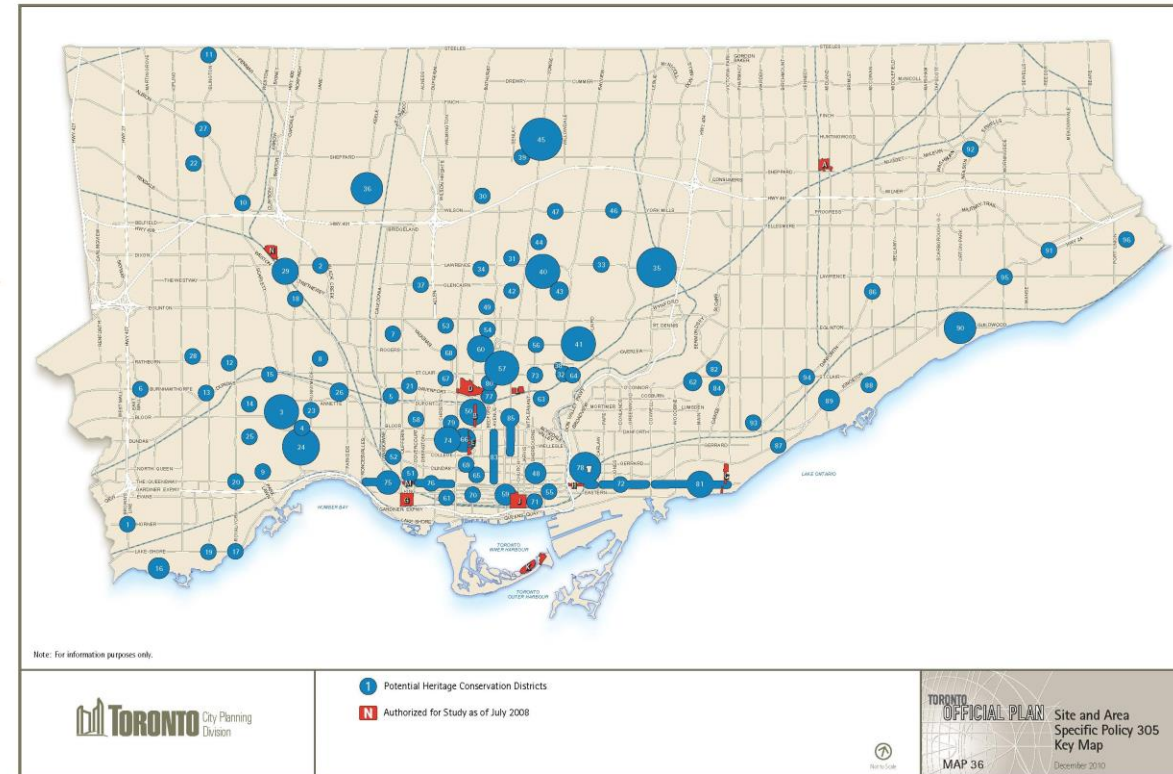


# Avenues & Character Areas, SASP 305

Avenues & Character Areas • Revised July 2010



Portions of the Avenues identified as Character Areas (as prepared by E.R.A. Architects) See Appendix A, of the Avenues and Mid-Rise Building Study for Character Area mapping of each individual Avenue.



TORONTO City Planning Division

TORONTO OFFICIAL PLAN Site and Area Specific Policy 305 Key Map  
MAP 36 December 2010



## DID YOU KNOW ?

The City of Toronto is committed to integrating the significant achievements of our people, their history and neighbourhoods into the city-building process.

Identification and evaluation of heritage resources – both tangible and intangible – are ongoing processes that happen during development review and area planning studies, through Heritage Conservation District studies and by recommending properties to the Heritage Register.

The City's Archaeological Management Plan requires that planning decisions consider cultural heritage resources.

### WHAT IS ON THE HERITAGE REGISTER TODAY?

- 19 Properties presently included on the Heritage Register
- 9 Properties designated under Part IV of the Ontario Heritage Act
- 53 Properties in the Blythwood Road Heritage Conservation District, Designated under Part V of the Ontario Heritage Act

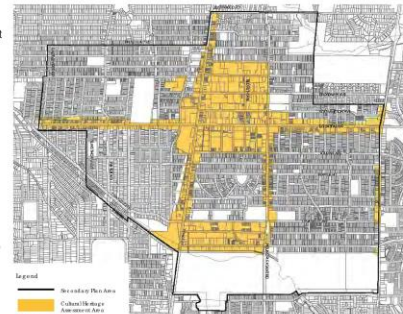
## CULTURAL HERITAGE

### Cultural Heritage Resource Assessment

The Cultural Heritage Resource Assessment, nearing completion, identifies properties and areas of cultural heritage value or interest in the Apartment Neighbourhoods and Mixed-Use Areas within the Yonge-Eglinton Secondary Plan area. This study informs the development of new planning policies and guidelines for Midtown and provides data and analysis to support the inclusion of potential cultural heritage resources on the City's Heritage Register.

The Heritage Resource Assessment includes:

- A historical overview for Midtown - documenting historic themes, events and people of interest;
- Screening properties for heritage potential using provincial criteria;
- A Stage 1 Archaeological Assessment; and,
- The identification of potential cultural heritage resources including individual properties, heritage conservation districts and cultural heritage landscapes that merit inclusion on the City's Heritage Register.



### Next Steps

This study continues to inform the new built form policies and guidelines for the area. City Planning will next undertake a phased approach to further evaluate identified heritage potential properties and will bring forward staff report(s) for their inclusion on the City's Heritage Register.

### Study Process

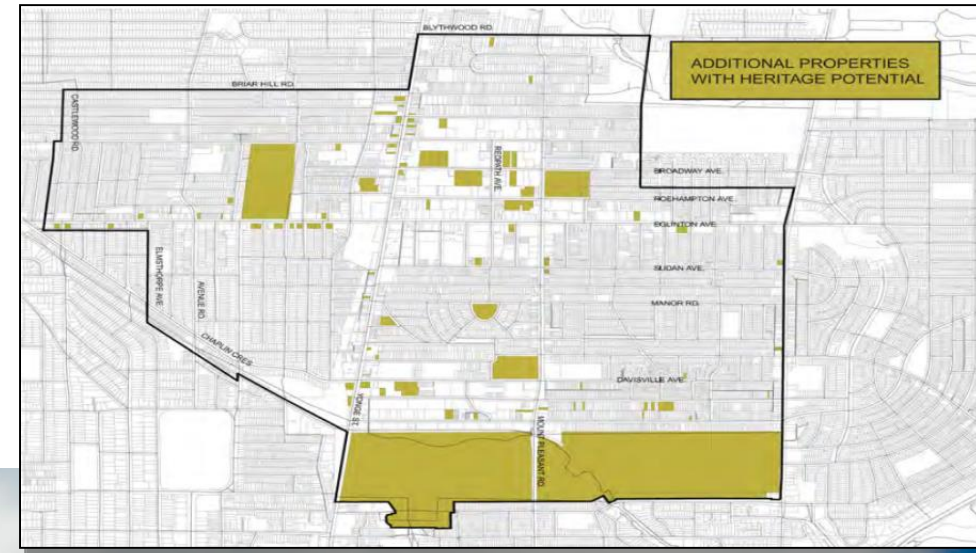


City of Toronto

# Tools to identify heritage

# Official Plan Chapter Three: Heritage Policies (2015)

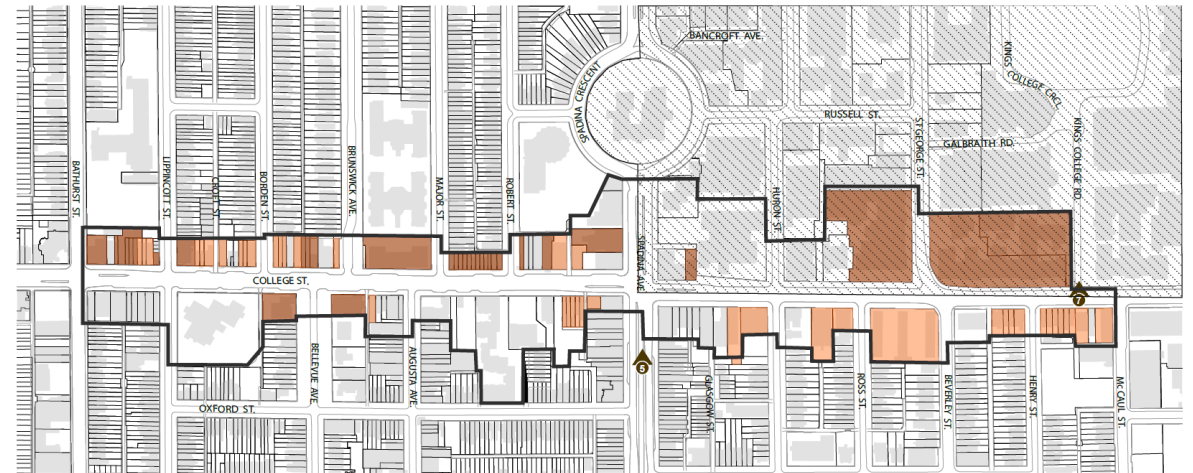
# Avenue Studies Midtown in Focus



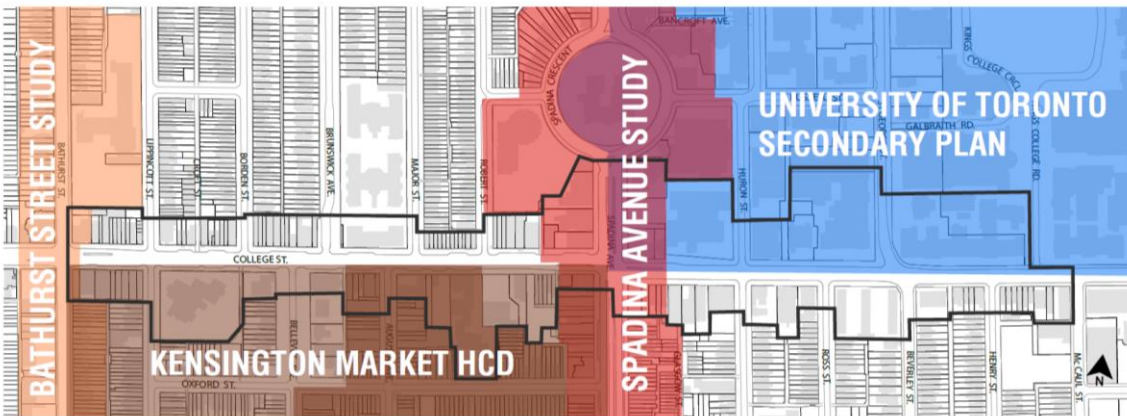
# Urban Design Guidelines: College Street Listing on the City's Heritage Register



Map of the Study Area

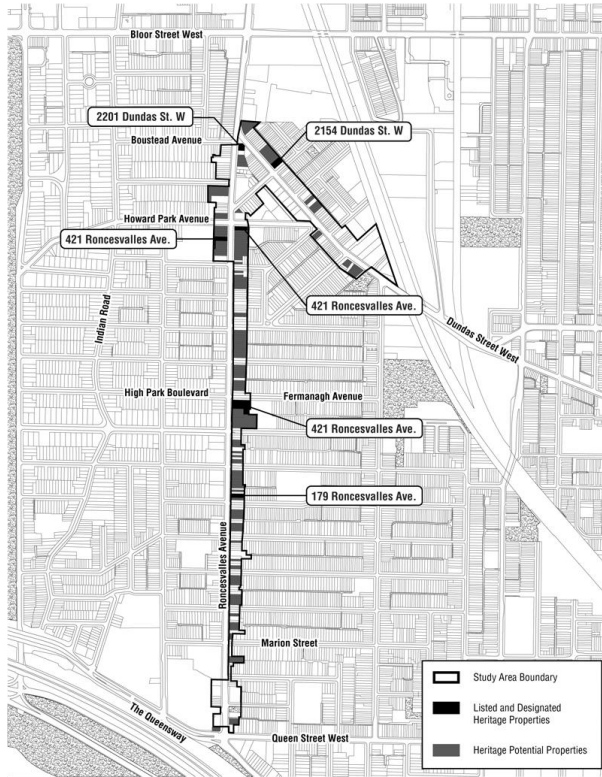


- Properties Included on the Heritage Register
- Properties with Potential to be Included on the Heritage Register
- Protected views identified in the Official Plan
- Subject to the University of Toronto Secondary Plan (currently under review at the time of this survey)



Map of Concurrent Studies near the Study Area

# Planning Policy & Heritage Potential



Heritage Potential Map

Dundas & Roncevalles Study

Not to Scale  
06/14/2018

File # 15 256382 SPS 00 02



Toronto  
JUNE 2018  
CITY OF TORONTO

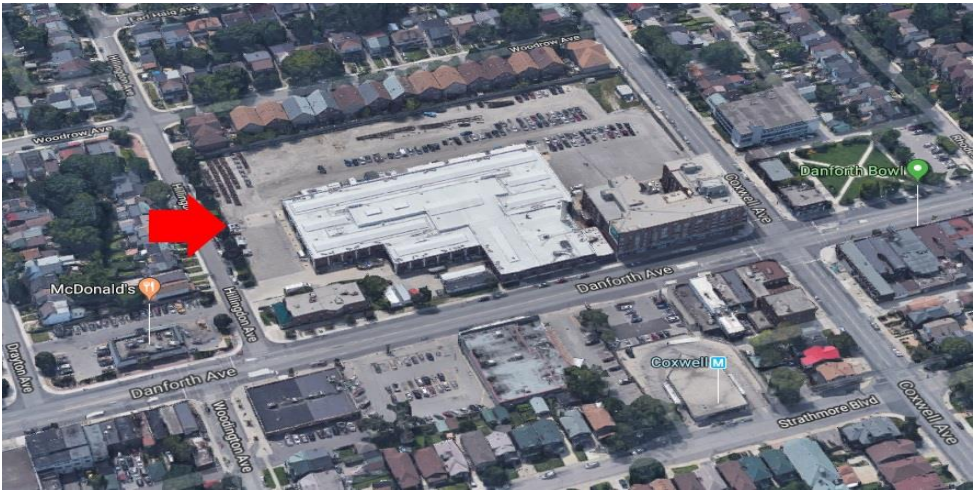
DUNDAS - RONCESVALLES  
URBAN DESIGN  
GUIDELINES

DUNDAS - RONCESVALLES URBAN DESIGN GUIDELINES

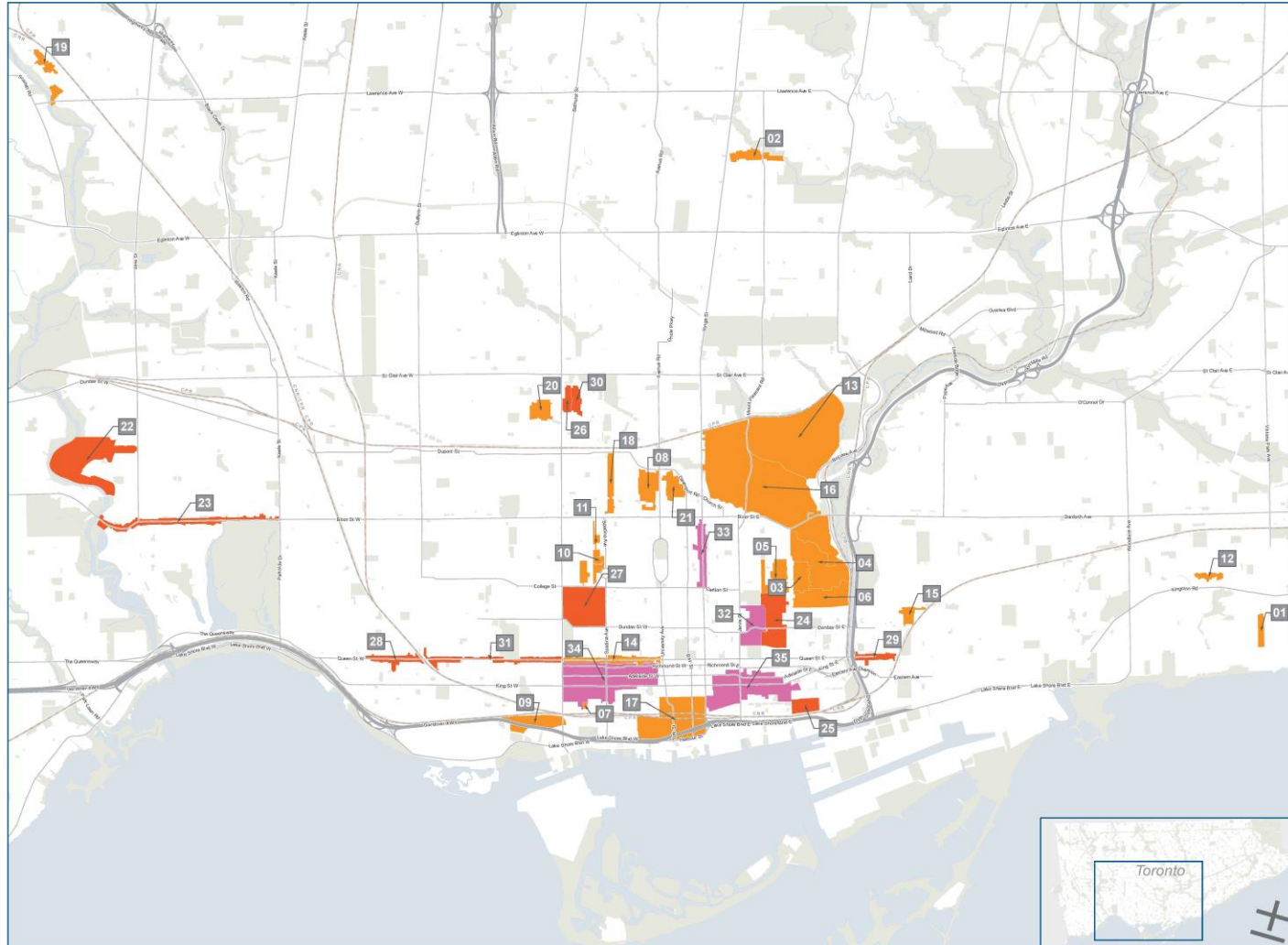
URBAN DESIGN  
GUIDELINES

2018

# Danforth Avenue Study (SASP + UDG) Danforth Carhouse Master Plan



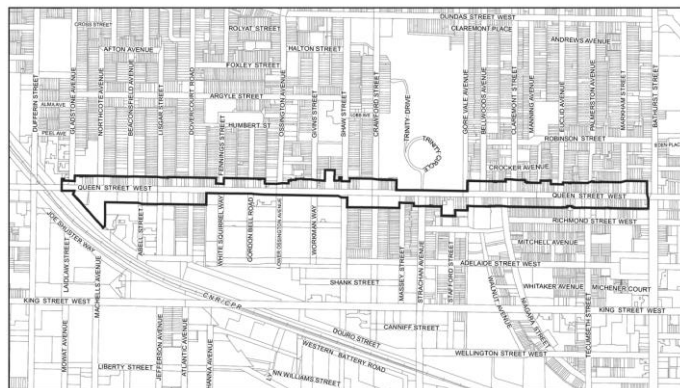
# Heritage Conservation Districts



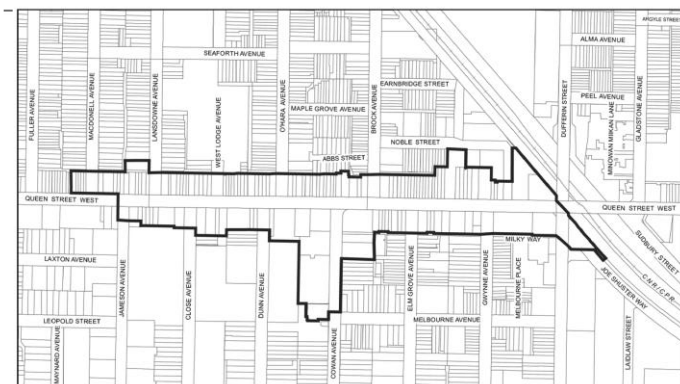
- Designated Districts**
- 01. Balmy Beach-Kingswood South
  - 02. Blythwood Road
  - 03. Cabbagetown (Metcalfe)
  - 04. Cabbagetown (North)
  - 05. Cabbagetown (Northwest)
  - 06. Cabbagetown (South)
  - 07. Draper Street
  - 08. East Annex
  - 09. Fort York
  - 10. Harbord Village Phase I
  - 11. Harbord Village Phase II
  - 12. Lyall Avenue
  - 13. North Rosedale
  - 14. Queen Street West
  - 15. Riverdale
  - 16. South Rosedale
  - 17. Union Station
  - 18. West Annex Phase I (Madison Avenue)
  - 19. Weston Area Phase I
  - 20. Wychwood Park
  - 21. Yorkville-Hazelton
- Under Study**
- 22. Baby Point
  - 23. Bloor West Village
  - 24. Cabbagetown South West
  - 25. Distillery District
  - 26. Hilton Avenue
  - 27. Kensington Market
  - 28. Parkdale Main Street
  - 29. Queen Street East (Riverside)
  - 30. Wells Hill Avenue
  - 31. West Queen West
- Under Appeal to the Local Planning Appeal Tribunal**
- 32. Garden District
  - 33. Historic Yonge Street
  - 34. King-Spadina
  - 35. St. Lawrence Neighbourhood



# HCD Studies with Main Streets



**Toronto**  
**Proposed Boundary**  
**Proposed West Queen West Heritana Conservation District**

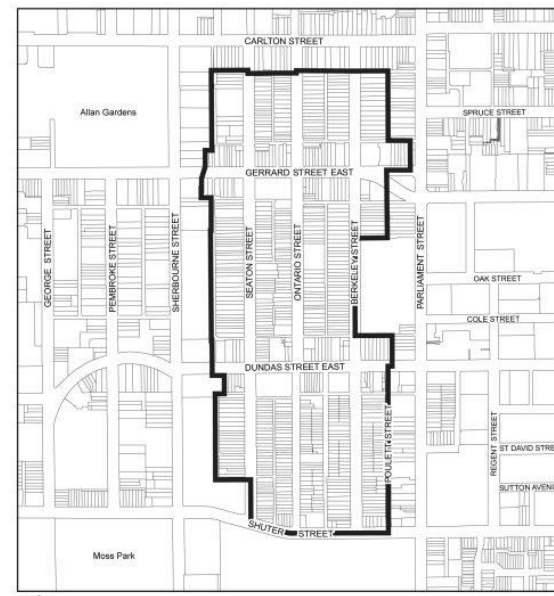


**Toronto**  
**Proposed Boundary**  
**Proposed Parkdale Main Street Heritage Conservation District**



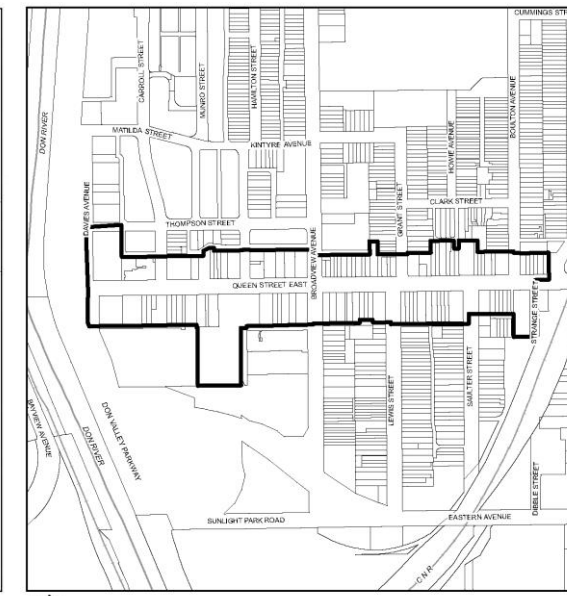
**Toronto**  
**Proposed Kensington Market Neighbourhood Heritage Conservation District**

Proposed Boundary  
 District Boundary  
Not to Scale  
 Estimated: 09/08/2017



**Toronto**  
**Study Area**  
**Cabbagetown South West Heritage Conservation District Study Area**

District Boundary  
Not to Scale  
 3/23/2017

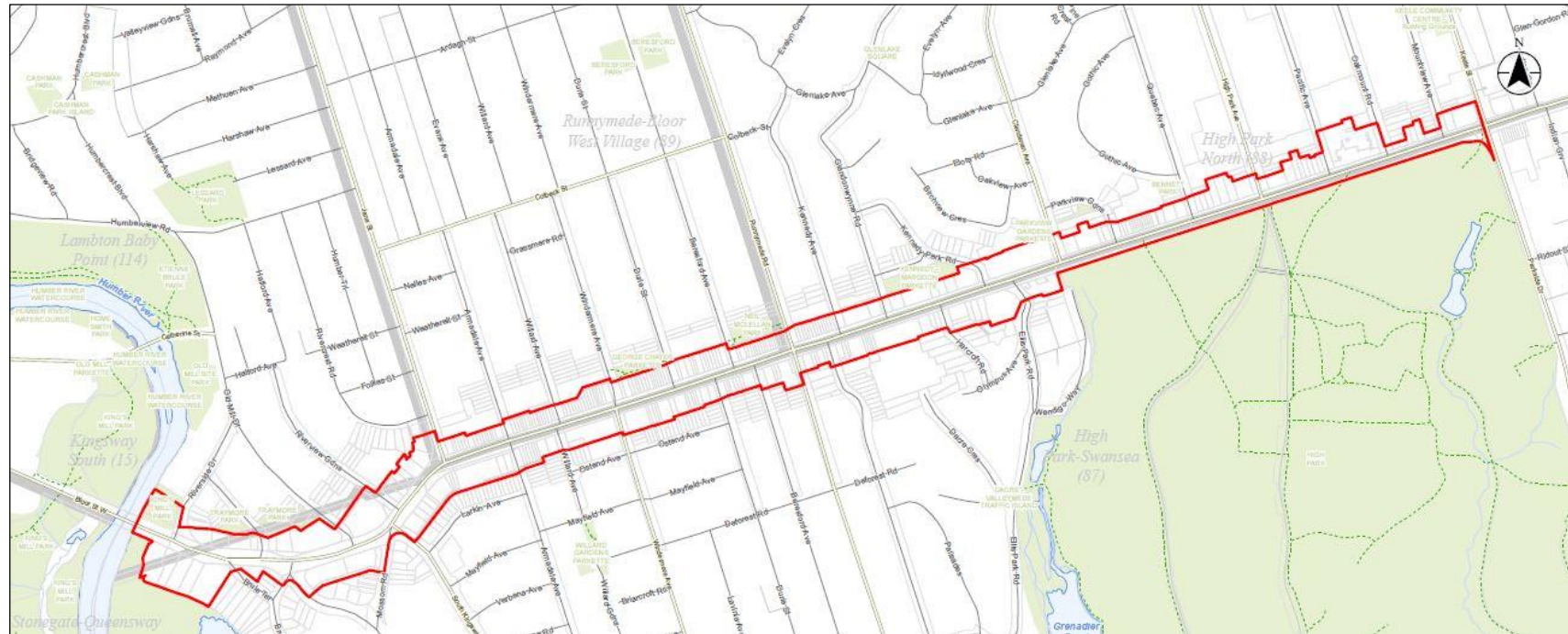


**Toronto City Planning**  
**Study Area**  
**Queen Street East Heritage Conservation District**

District Boundary  
Not to Scale  
 4/14/2015

# Bloor West Village HCD Study

- Study Area is approximately **2.7 kilometres** in length - Includes **302 properties** that front onto Bloor Street
- Extends from **Keele Street to the Humber River** /Bounded by **High Park and the Humber River**
- **4 TTC Stations** (Jane, Runnymede, High Park, Keele)



# Character Analysis

- **Dates of Construction**
  - All buildings in the study area were constructed in the 20<sup>th</sup> century
- **Building Heights**
  - The majority (96%) of buildings are four storeys or less
- **Land Use**
  - Defined by commercial land use along Bloor Street West with residential land use located at the east and west ends and along side streets
- **Architectural Types**
  - Edwardian (1900-1930s) → 22%
  - 20<sup>th</sup> Century Vernacular (1900s-1930s) → 23%
  - Contemporary (1980-Present) → 23%



# Property Grain



Fine grain



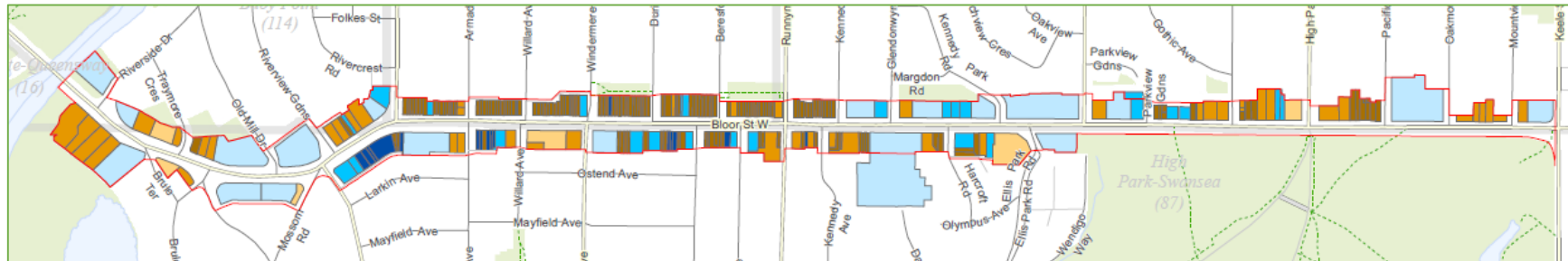
Intermediate grain



Coarse grain

## Total Buildings

- 60% Fine Grain
- 30% Intermediate Grain
- 10% Coarse Grain



Fine Grain Historic  
 Intermediate Grain Historic

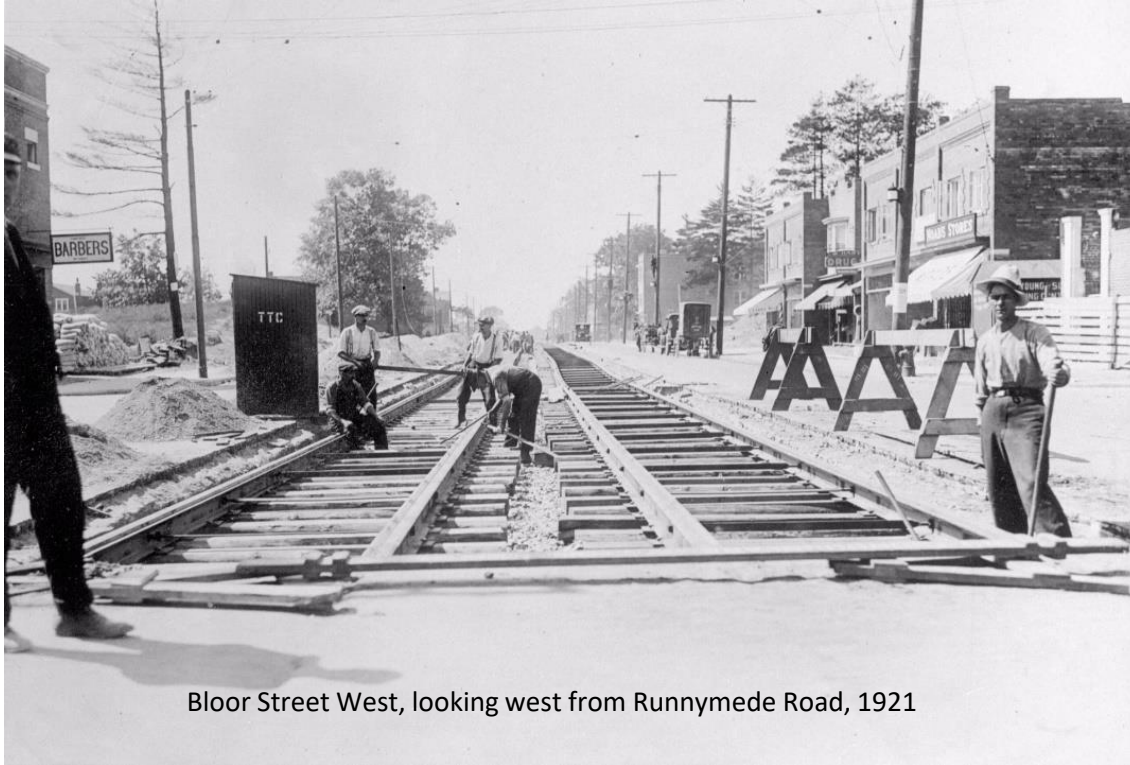
Coarse Grain Historic  
 Fine Grain Contemporary  
 Fine Grain Contemporary

Intermediate Grain Contemporary  
 Coarse Grain Contemporary



BLOOR WEST VILLAGE HCD STUDY

# Village Main Street – Period of Significance



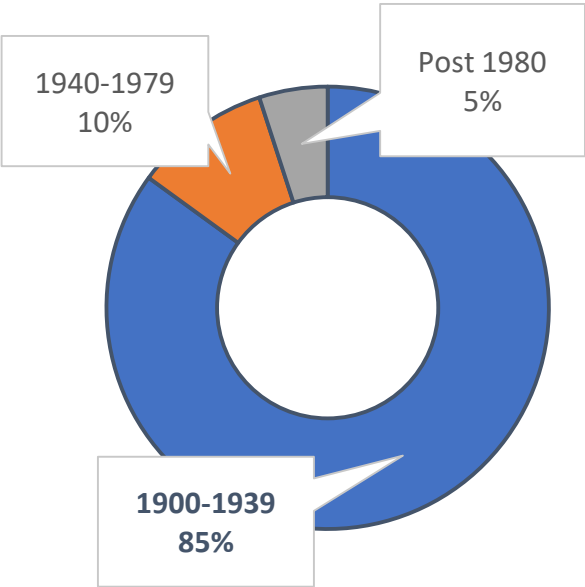
Bloor Street West, looking west from Runnymede Road, 1921

- Bloor Street West opened between Dundas Street and Humber River in the 1860s
- West Toronto Junction annexed to City of Toronto in 1909
- 1919-1929 Bloor Street improvements and construction of the streetcar line
- Central section annexed to the City of Toronto as part of the Village of Swansea in 1920
- Southwest section annexed to the City of Toronto in 1967

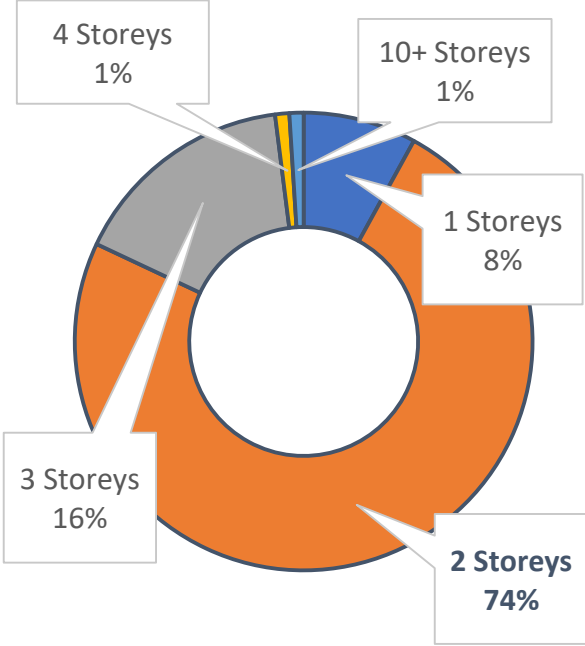


# Village Main Street – Built Form

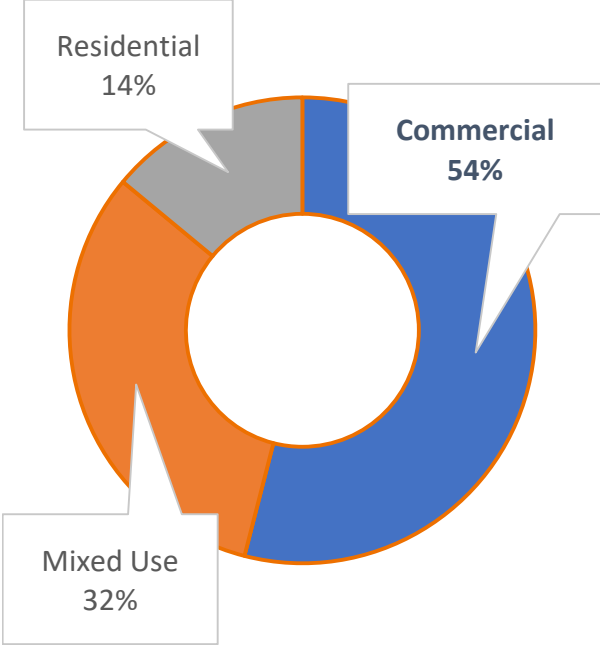
Dates of Construction



Building Heights



Land Use



# Commercial Typologies

- Three commercial typologies were identified for the Bloor West Village Study Area:
  - Typology 1: Two Storey Storefront → 81%
  - Typology 2: Three Storey Mixed Use → 15%
  - Typology 3: One Storey Commercial → 4%



Typology 1



Typology 2

Images courtesy of  
Bloor West Village  
Avenue Study



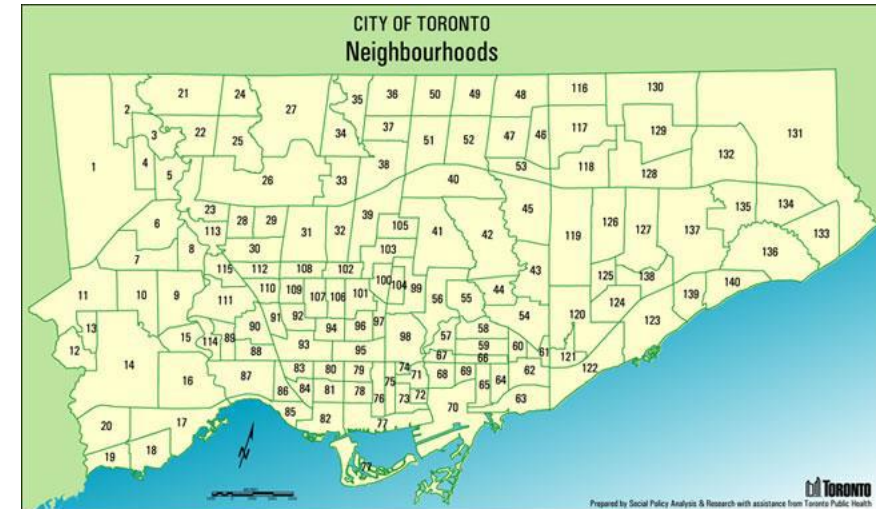
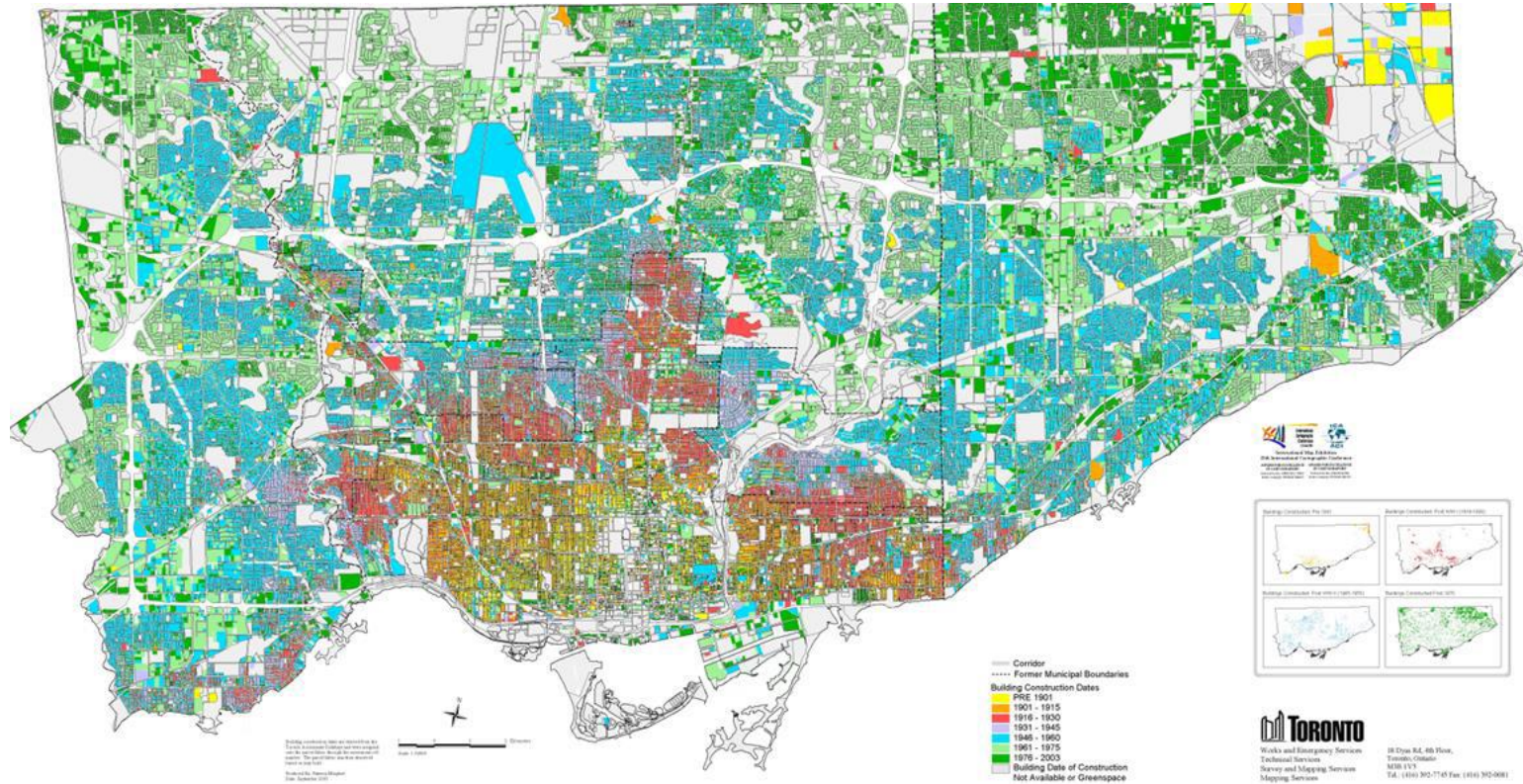
BLOOR WEST VILLAGE HCD STUDY

# What's Next? ... Modernizing the City's Heritage Register



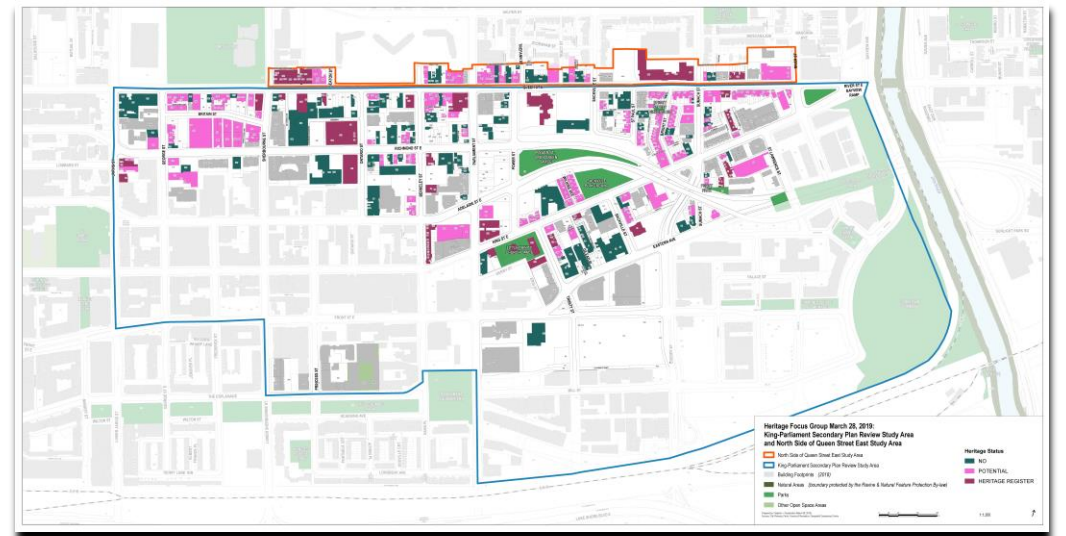
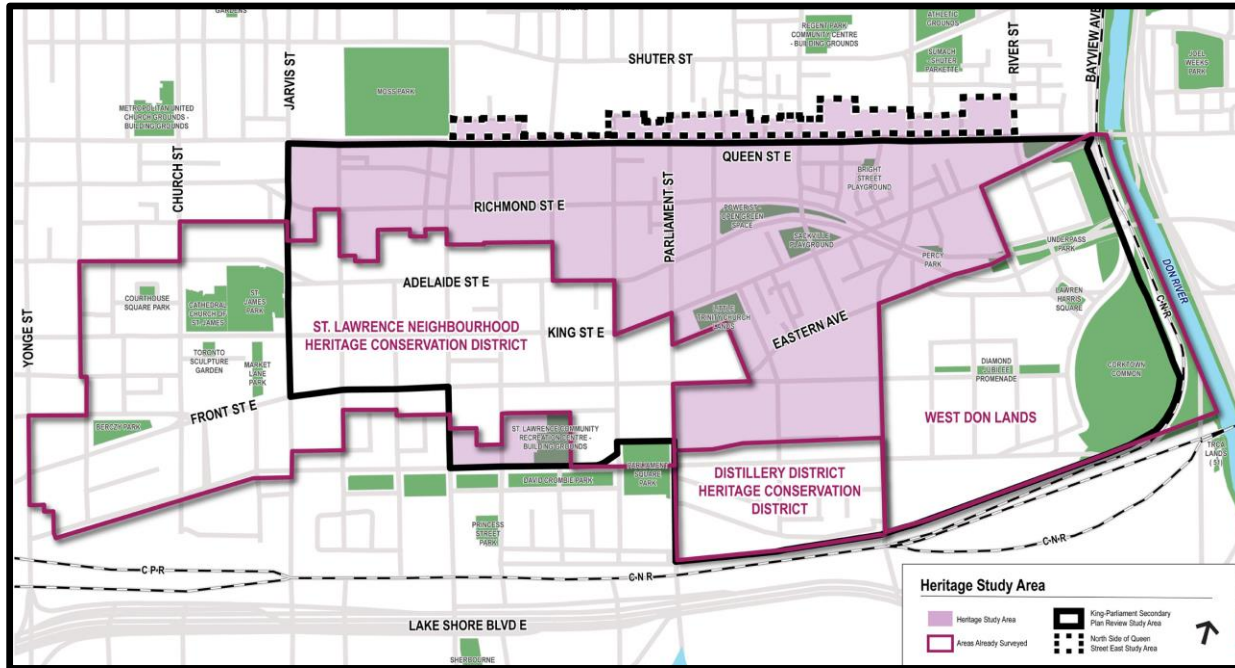


# Citywide Heritage Survey Proposal



# Avenue Study Pilot Project: Context Statement

Prioritizes an understanding of the historic context of an area, and how properties relate to and support that context.



King | Parliament Secondary Plan Review



# Tools to support Main Street Buildings

## Heritage Property Tax Rebate Program

**Eligible Properties (Tax Class)** Commercial or Industrial  
**(Heritage Status)** Designated individually + Heritage Easement Agreement OR Designated within a Heritage Conservation District / Contributing Property) + Maintenance and Conservation Agreement

**Value of Incentive (Eligible Annually):**

50% of authorized costs (maintenance / conservation work)  
up to 40% of taxes paid

**Maximum amount: \$500,000 (Part IV) and \$50,000 (Part V)**

# Thank You

**TAMARA ANSON-CARTWRIGHT**  
Urban Design/Heritage  
Policy & Research  
Toronto City Planning

